



DEVELOPMENT RENDERING

FOR REFERENCE ONLY



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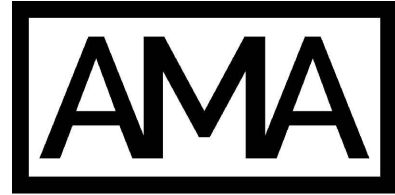
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ALEX MILLER ARCHITECTS
9187 Clairemont Mesa Blvd
Suite #6-743
San Diego, CA 92123
(858) 692-2529

SOPHIE'S PLACE

6736 & 6738 LINDA VISTA ROAD
SAN DIEGO, CA 92111



DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

R1



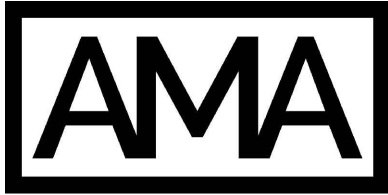
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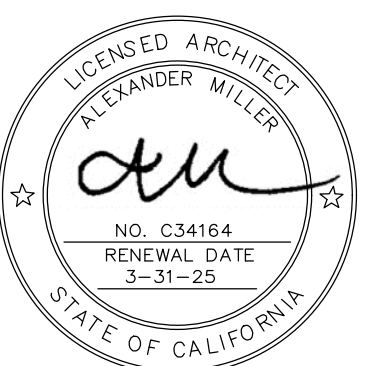
DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

R2



SOPHIE'S PLACE

6/36 & 6/38 LINDA VISTA ROAD
SAN DIEGO, CA 92111



DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

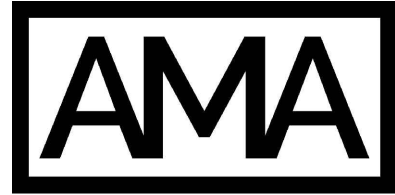
A-103.1



DEVELOPMENT - PODIUM FLOOR PLAN

SCALE: 3/32" = 1'-0"





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A-103.2

MDU BUILDING

SEE SHEET A-104.2 FOR MDU BUILDING

DWELLING UNITS OCCUPANTS:
 $2,289 \text{ SF} / 200 \text{ GROSS} = 11.45 = 12 \text{ OCCUPANTS}$

TYPE 1-A CONSTRUCTION

REFERENCE SHEET A103.1
FOR PODIUM FLOOR

ADU BUILDING

SEE SHEET A-105.2 FOR ADU BUILDING

DWELLING UNITS OCCUPANTS:
 $8,534 \text{ SF} / 200 \text{ gross} = 42.67 =$
43 OCCUPANTS

OCCUPANTS
 $[(43 \text{ OCC.} + 131 \text{ OCC.} + 5 \text{ OCC.} + 1 \text{ OCC.}) / 2] + 12 \text{ OCC.} = 102 \text{ OCC.}$

DOOR WIDTH
 $\frac{102}{2} \times 0.2 = 10.2"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{102}{2} \times 0.3 = 15.3"$
THEREFORE MIN.
36" STAIR WIDTH REQ.

COMMON PATH
100'

ADU
TRASH CHUTE
SUITE 110

LAUNDRY
SUITE 109
 $101 \text{ SF} / 200 \text{ NET} = 0.5$
1 OCCUPANTS

BALCONY 1
 $671 \text{ SF} / 5 \text{ NET} = 134$
134 OCCUPANTS

209'-7" EXIT SEPARATION DISTANCE
(GREATER THAN 1/3 DIA. DIST)

MAX. EXIT TRAVEL DISTANCE
131'-10"

OCCUPANTS
 $(43 \text{ OCC.} + 131 \text{ OCC.} + 5 \text{ OCC.} + 1 \text{ OCC.}) / 2 = 90 \text{ OCC.}$

DOOR WIDTH
 $\frac{90}{2} \times 0.2 = 9"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR & RAMP WIDTH
 $\frac{90}{2} \times 0.3 = 13.5"$
THEREFORE MIN.
37" STAIR WIDTH REQ.

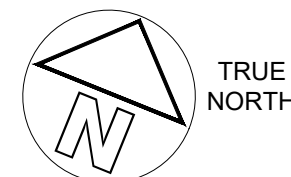
EXIT

LEASING OFFICE
SUITE 100

LEASING OFFICE
 $499 \text{ SF} / 100 \text{ GROSS} = 4.99$
5 OCCUPANTS

DEVELOPMENT - FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



DOOR & WINDOW SCHEDULE

SEE TAGS ON SHEET A104.1 & A105.1, SEE SCHEDULE ON SHEET A-801.0

ACCESSIBILITY

SEE SHEET ADA.0 FOR ACCESSIBLE PATH OF TRAVEL

CONSTRUCTION TYPE

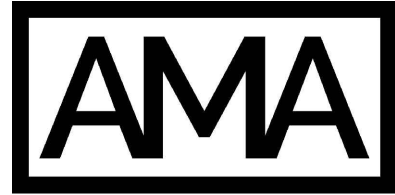
- PER CBC 510.4, NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE THE PODIUM.
- CONSTRUCTION TYPE AT PODIUM LEVEL: 1-A

EGRESS NOTES

- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THE MEANS OF EGRESS WILL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AT ALL TIMES. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM (BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR) THAT WILL AUTOMATICALLY ILLUMINATE THE EXIT SIGNS FOR DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS.

EGRESS LEGEND

- COMMON PATH OF EGRESS TRAVEL
- EXIT ACCESS TRAVEL



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A-103.3

MDU BUILDING

SEE SHEET A-104.3 FOR MDU BUILDING
DWELLING UNITS OCCUPANTS:
9,010 SF / 200 gross = 45.05 = 45 OCCUPANTS

OCCUPANTS
PL (45 OCC. + 60 OCC. + 24 OCC. +
25 OCC. + 1 OCC.)/2 +
(44 OCC. + 1 OCC.)/2 = 96 OCC.

DOOR WIDTH
 $\frac{96}{2} \times 0.2 = 9.6"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{96}{2} \times 0.3 = 14.4"$,
THEREFORE MIN.
36" STAIR WIDTH REQ.

OCCUPANTS
(45 OCC. + 60 OCC. +
24 OCC. + 25 OCC. +
1 OCC.)/2 = 73 OCC.

DOOR WIDTH
 $\frac{73}{2} \times 0.2 = 7.3"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{73}{2} \times 0.3 = 10.95"$,
THEREFORE MIN.
36" STAIR WIDTH REQ.

CONSTRUCTION TYPE

- PER CBC 510.4, NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE THE PODIUM.
- CONSTRUCTION TYPE AT PODIUM LEVEL: I-A

EGRESS NOTES

- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THE MEANS OF EGRESS WILL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
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EGRESS LEGEND

- COMMON PATH OF EGRESS TRAVEL
- EXIT ACCESS TRAVEL

DOOR & WINDOW SCHEDULE

SEE TAGS ON SHEET A104.1 & A105.1, SEE SCHEDULE ON SHEET A-801.0

ACCESSIBILITY

SEE SHEET A-104.0 FOR ACCESSIBLE PATH OF TRAVEL

DEVELOPMENT - SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



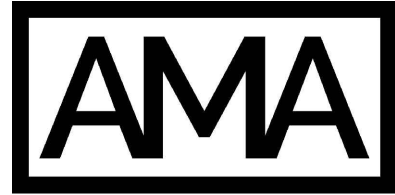
ADU BUILDING

SEE SHEET A-105.3 FOR ADU BUILDING
DWELLING UNITS OCCUPANTS:
8,768 SF / 200 gross = 43.88 =
44 OCCUPANTS

OCCUPANTS
(44 OCC. + 1 OCC.)/2 = 23 OCC.

DOOR WIDTH
 $\frac{23}{2} \times 0.2 = 2.3"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{23}{2} \times 0.3 = 3.45"$,
THEREFORE MIN.
36" STAIR WIDTH REQ.



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DATE	DESCRIPTION
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8/14/24	RESUBMITTAL SET

A-103.4

MDU BUILDING

SEE SHEET A-104.4 FOR MDU BUILDING

DWELLING UNITS OCCUPANTS:
9,010 SF / 200 gross = 45.05 = 45 OCCUPANTS

OCCUPANTS
(45 OCC. + 1 OCC.)/2 +
(44 OCC. + 1 OCC.)/2 = 46 OCC.

DOOR WIDTH
 $\frac{45}{2} \times 0.2 = 4.6"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{45}{2} \times 0.3 = 6.9"$
THEREFORE MIN.
36" STAIR WIDTH REQ.

MDU MAX. EXIT TRAVEL DISTANCE
148'-6"

OCCUPANTS
(45 OCC. + 1 OCC.)/2 = 23 OCC.

DOOR WIDTH
 $\frac{23}{2} \times 0.2 = 2.3"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{23}{2} \times 0.3 = 3.45"$
THEREFORE MIN.
36" STAIR WIDTH REQ.

LAUNDRY
SUITE 318
83 SF / 200 NET = 0.4
1 OCCUPANTS

MDU
TRASH CHUTES
SUITE 317

ADU
TRASH CHUTES
SUITE 316

LAUNDRY
SUITE 315
101 SF / 200 NET = 0.5
1 OCCUPANTS

199'-2" EXIT SEPARATION DISTANCE
(GREATER THAN 1/3 DIA. DIST)

OCCUPANTS
(44 OCC. + 1 OCC.)/2 = 23 OCC.

DOOR WIDTH
 $\frac{23}{2} \times 0.2 = 2.3"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{23}{2} \times 0.3 = 3.45"$
THEREFORE MIN.
36" STAIR WIDTH REQ.

ADU BUILDING

SEE SHEET A-105.4 FOR ADU BUILDING

DWELLING UNITS OCCUPANTS:
8,768 SF / 200 gross = 43.88 =
44 OCCUPANTS

ADU MAX. EXIT TRAVEL DISTANCE
130'-5"

DOOR & WINDOW SCHEDULE

SEE TAGS ON SHEET A104.1 & A105.1, SEE SCHEDULE ON SHEET A-801.0

ACCESSIBILITY

SEE SHEET A-801.0 FOR ACCESSIBLE PATH OF TRAVEL

CONSTRUCTION TYPE

- PER CBC 510.4, NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE THE PODIUM.
- CONSTRUCTION TYPE AT PODIUM LEVEL: I-A

EGRESS NOTES

- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THE MEANS OF EGRESS WILL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
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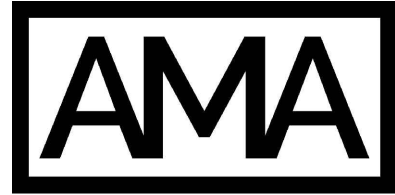
EGRESS LEGEND

- COMMON PATH OF EGRESS TRAVEL
- EXIT ACCESS TRAVEL

DEVELOPMENT - THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"





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SOPHIE'S PLACE

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DATE	DESCRIPTION
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8/14/24	RESUBMITTAL SET

A-103.5

MDU BUILDING

SEE SHEET A-104.5 FOR MDU BUILDING
DWELLING UNITS OCCUPANTS:
9,010 SF / 200 gross = 45.05 = 45 OCCUPANTS

OCCUPANTS
(45 OCC. + 1 OCC.)/2 +
(44 OCC. + 1 OCC.)/2 = 46 OCC.

DOOR WIDTH
 $\frac{46}{2} \times 0.2 = 4.6"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{46}{2} \times 0.3 = 6.9"$
THEREFORE MIN.
36" STAIR WIDTH REQ.

MDU MAX. EXIT TRAVEL DISTANCE
148'-6"

OCCUPANTS
(45 OCC. + 1 OCC.)/2 = 23 OCC.

DOOR WIDTH
 $\frac{23}{2} \times 0.2 = 2.3"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{23}{2} \times 0.3 = 3.45"$
THEREFORE MIN.
36" STAIR WIDTH REQ.

CONSTRUCTION TYPE

- PER CBC 510.4, NUMBER OF STORIES TO BE USED IN DETERMINING THE MINIMUM TYPE OF CONSTRUCTION SHALL BE MEASURED FROM THE FLOOR ABOVE THE PODIUM.
- CONSTRUCTION TYPE AT PODIUM LEVEL: I-A

EGRESS NOTES

- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THE MEANS OF EGRESS WILL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
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EGRESS LEGEND

- COMMON PATH OF EGRESS TRAVEL
- EXIT ACCESS TRAVEL

DOOR & WINDOW SCHEDULE

SEE TAGS ON SHEET A104.1 & A105.1, SEE SCHEDULE ON SHEET A-801.0

ACCESSIBILITY

SEE SHEET A-104.0 FOR ACCESSIBLE PATH OF TRAVEL

DEVELOPMENT - FOURTH FLOOR PLAN

SCALE: 3/32" = 1'-0"



ADU BUILDING

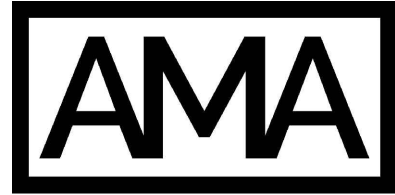
SEE SHEET A-105.5 FOR ADU BUILDING
DWELLING UNITS OCCUPANTS:
8,768 SF / 200 gross = 43.88 =
44 OCCUPANTS

ADU MAX. EXIT TRAVEL DISTANCE
130'-5"

OCCUPANTS
(44 OCC. + 1 OCC.)/2 = 23 OCC.

DOOR WIDTH
 $\frac{23}{2} \times 0.2 = 2.3"$,
THEREFORE MIN.
36" DOOR WIDTH REQ.

STAIR WIDTH
 $\frac{23}{2} \times 0.3 = 3.45"$
THEREFORE MIN.
36" STAIR WIDTH REQ.



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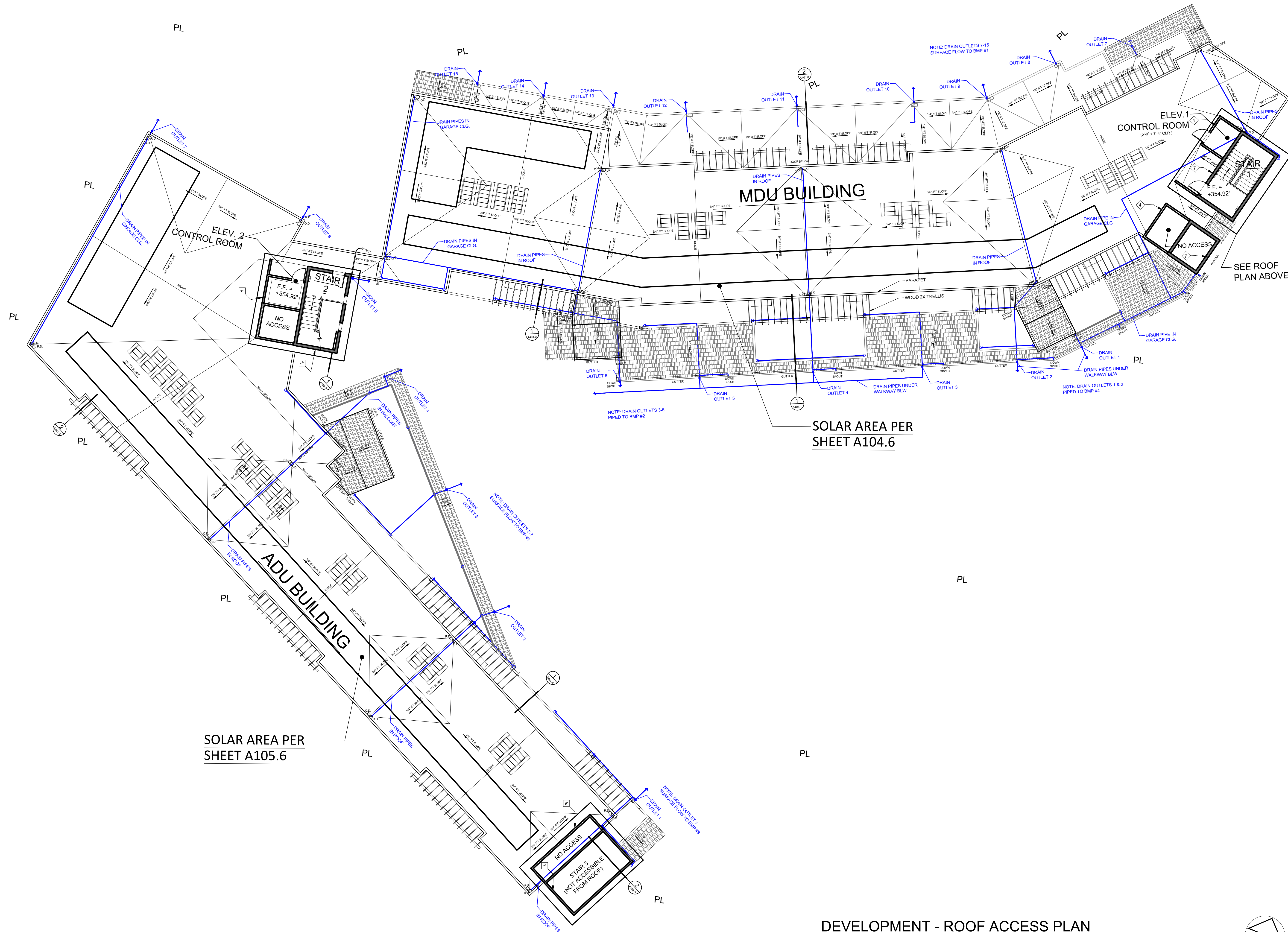
SOPHIE'S PLACE

6736 & 6738 LINDA VISTA ROAD
SAN DIEGO, CA 92111



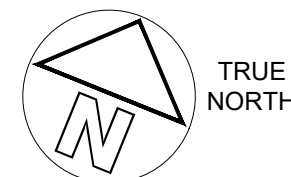
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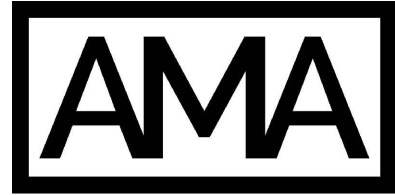
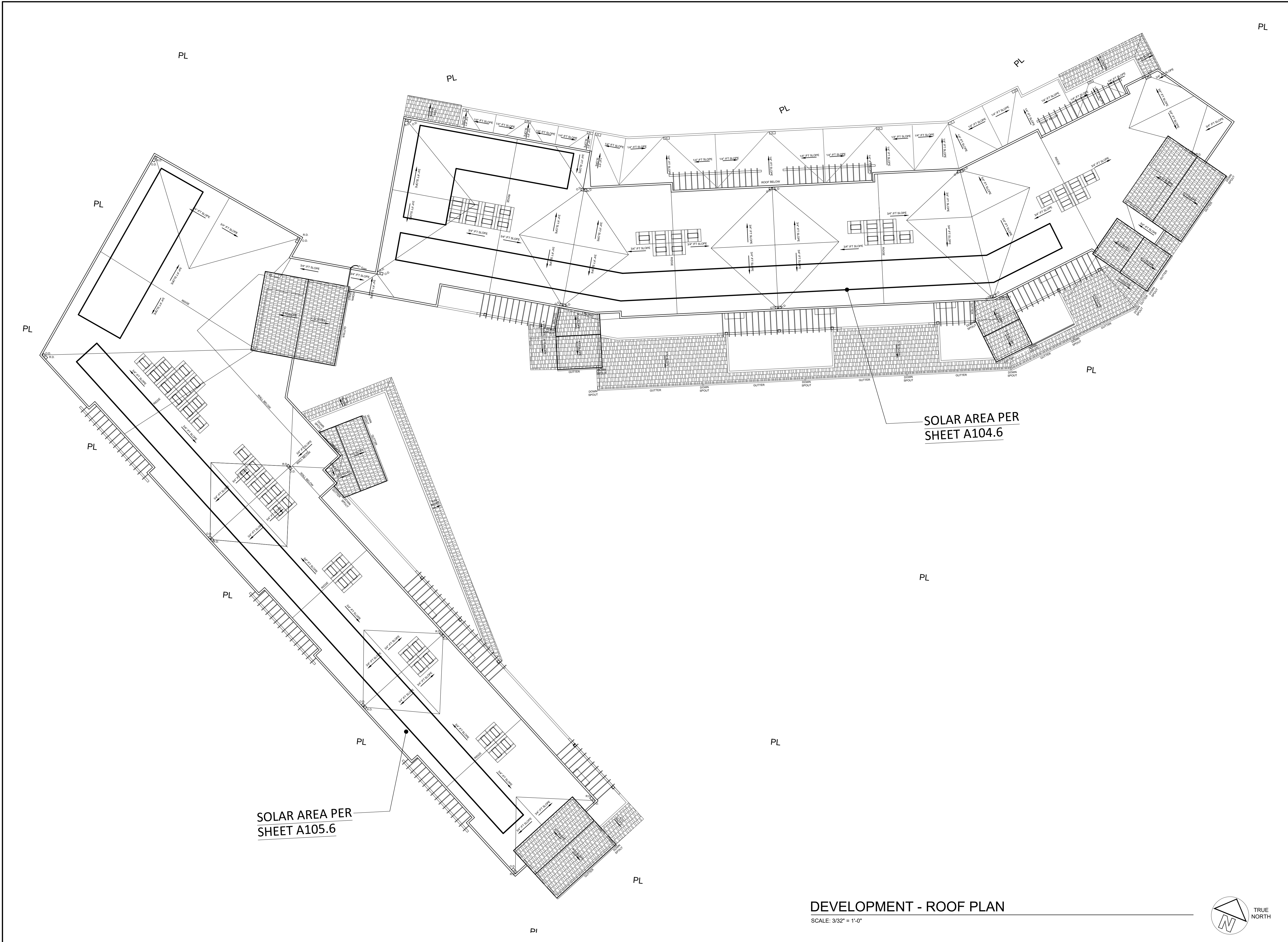
A-103.6



DEVELOPMENT - ROOF ACCESS PLAN

SCALE: 3/32" = 1'-0"





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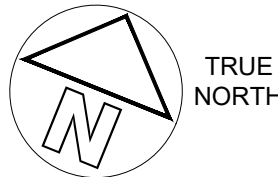
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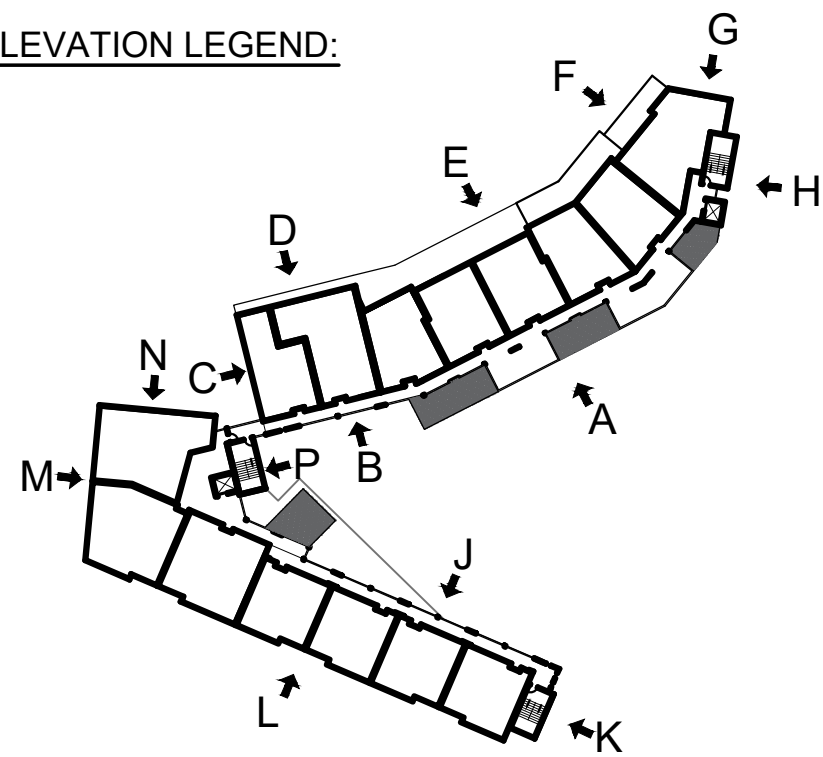
DATE	DESCRIPTION
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8/14/24	RESUBMITTAL SET

A-103.7

DEVELOPMENT - ROOF PLAN
SCALE: 3/32" = 1'-0"

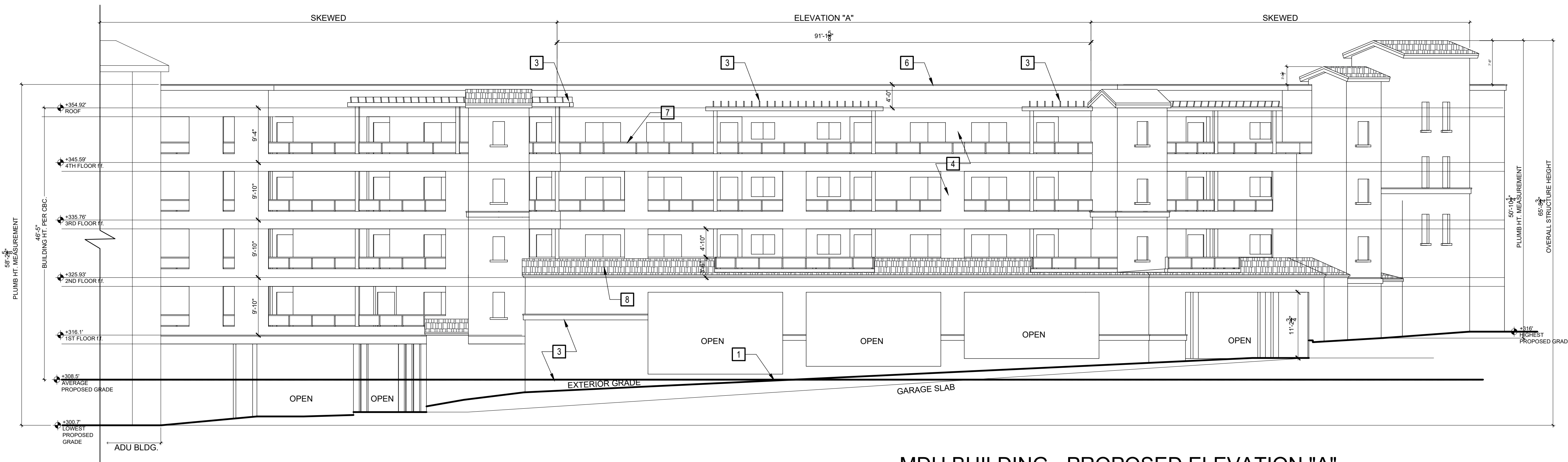


ELEVATION LEGEND:



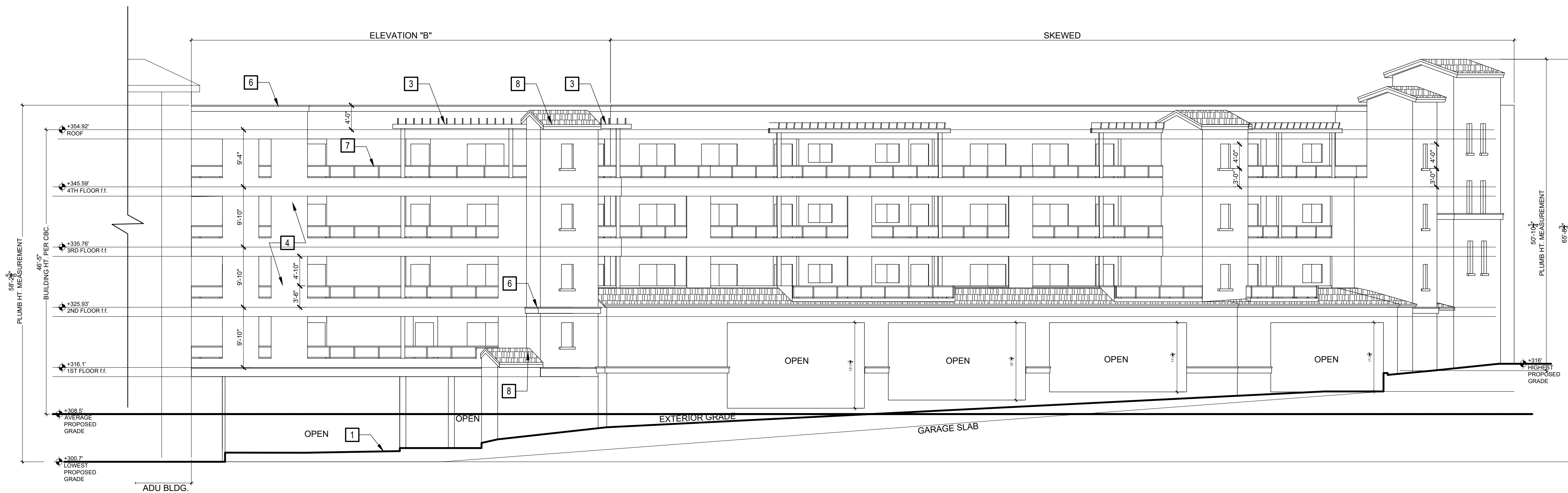
ELEVATION KEYNOTES

- 1 PROPOSED GRADE
- 2 VENT LOCATIONS
- 3 WOOD TRELLIS
- 4 STUCCO FINISH
- 5 NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
- 6 DECORATIVE STUCCO MOLDING
- 7 42" H. GUARDRAIL, MAX. 4" OPENINGS
- 8 CLAY TILE ROOFING



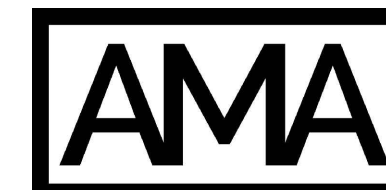
MDU BUILDING - PROPOSED ELEVATION "A"

SCALE: 3/32" = 1'-0"



MDU BUILDING - PROPOSED ELEVATION "B"

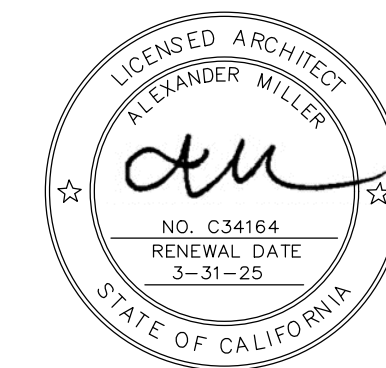
SCALE: 1/8" = 1'-0"



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A-201.0

ELEVATION KEYNOTES	
1	PROPOSED GRADE
2	VENT LOCATIONS
3	WOOD TRELIS
4	STUCCO FINISH
5	NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
6	DECORATIVE STUCCO MOLDING
7	42" H. GUARDRAIL, MAX. 4" OPENINGS
8	CLAY TILE ROOFING

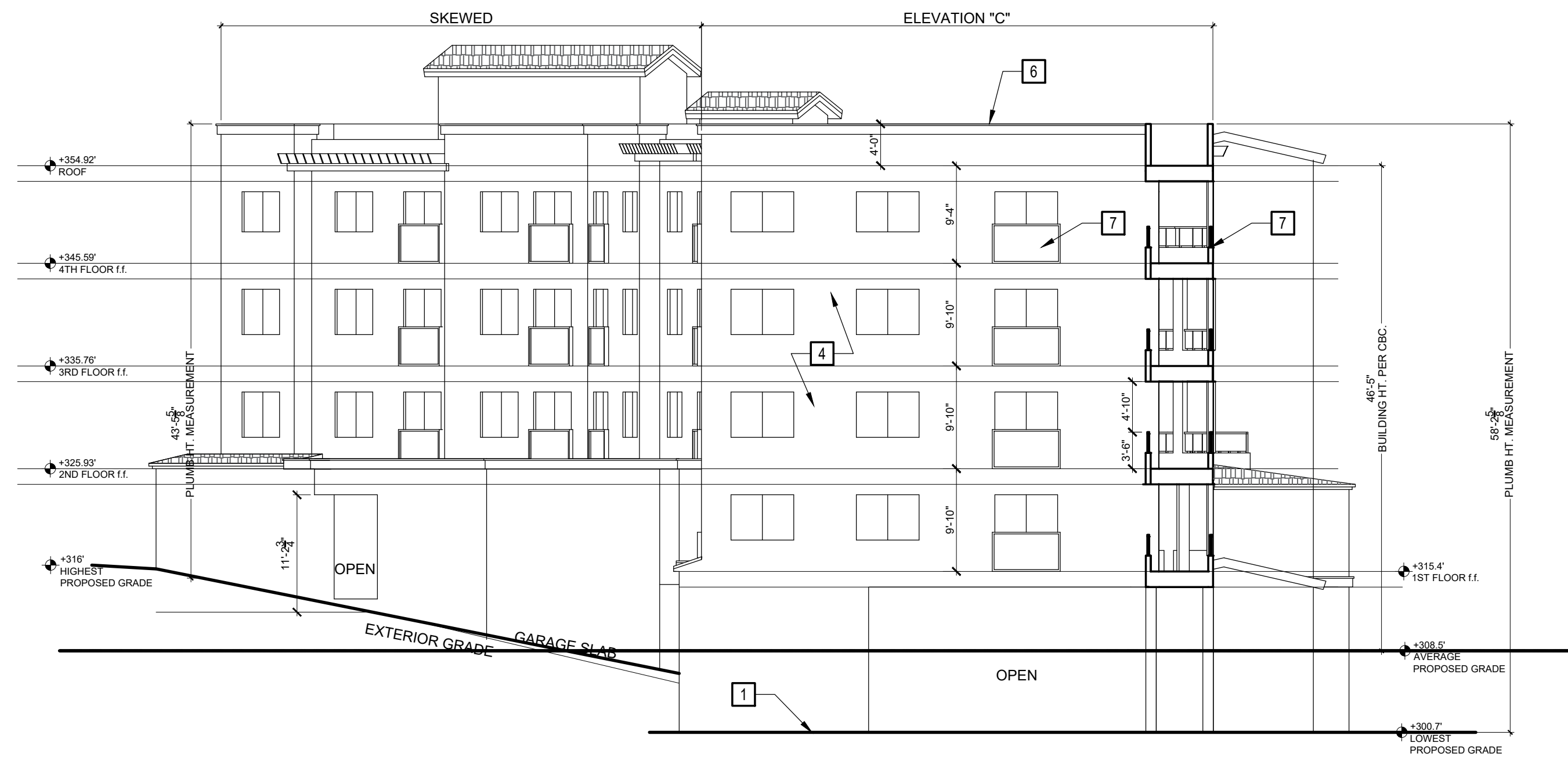
1st FLR EAST WALL: 5'-0" FSD @ 1ST FLOOR
WALL AREA (6'-11" 1/2"x13'-0") = 805.4 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 1 = 24 SF UNPROTECTED OPENING
2.97% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

2nd FLR EAST WALL: 10'-3/4" FSD
WALL AREA (21'- 3/4"x9'-6") = 200.09 SF EXTERIOR WALL AREA
(6'-0" x 7'-0" DOOR) 42 SF x 1 = 42 SF UNPROTECTED OPENING
20.99% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)

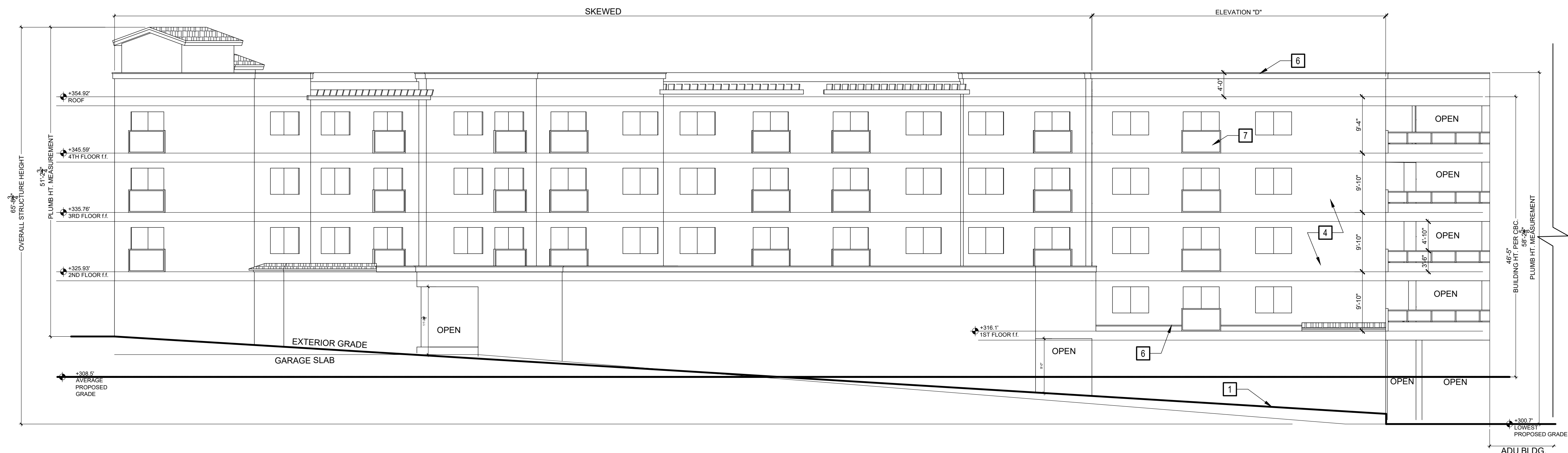
3rd FLR EAST WALL: 10'-3/4" FSD
WALL AREA (21'- 3/4"x9'-6") = 200.09 SF EXTERIOR WALL AREA
(6'-0" x 7'-0" DOOR) 42 SF x 1 = 42 SF UNPROTECTED OPENING
20.99% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)

4th FLR EAST WALL: 10'-3/4" FSD
WALL AREA (21'- 3/4"x9'-6") = 200.09 SF EXTERIOR WALL AREA
(6'-0" x 7'-0" DOOR) 42 SF x 1 = 42 SF UNPROTECTED OPENING
20.99% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)

5th FLR EAST WALL: 10'-3/4" FSD
WALL AREA (21'- 3/4"x9'-6") = 200.09 SF EXTERIOR WALL AREA
(6'-0" x 7'-0" DOOR) 42 SF x 1 = 42 SF UNPROTECTED OPENING
20.99% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)



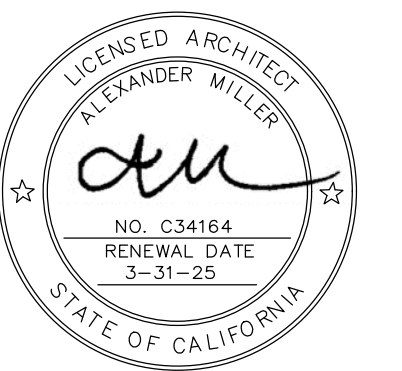
SCALE: 1/8" = 1'-0"



SCALE: 3/32" = 1'-0"



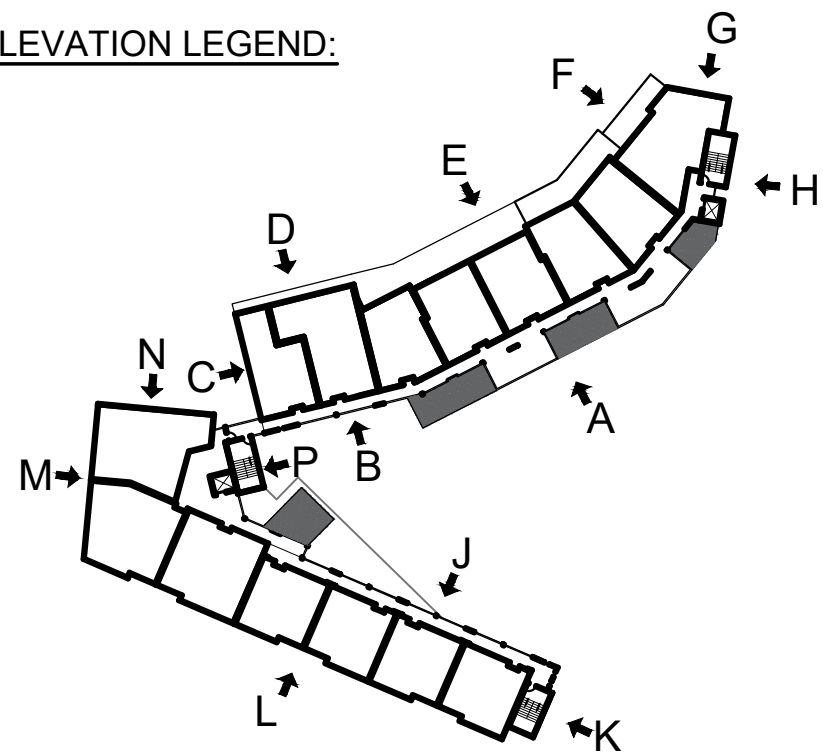
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SAN DIEGO, CA 92111



DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

A-201.1

ELEVATION LEGEND:



ELEVATION KEYNOTES	
1	PROPOSED GRADE
2	VENT LOCATIONS
3	WOOD TRELIS
4	STUCCO FINISH
5	NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
6	DECORATIVE STUCCO MOLDING
7	42" H. GUARDRAIL, MAX. 4" OPENINGS
8	CLAY TILE ROOFING

WEST WALL (E) PROTECTED/UNPROTECTED OPENING CALCULATIONS PER CBC TABLE 705.8:

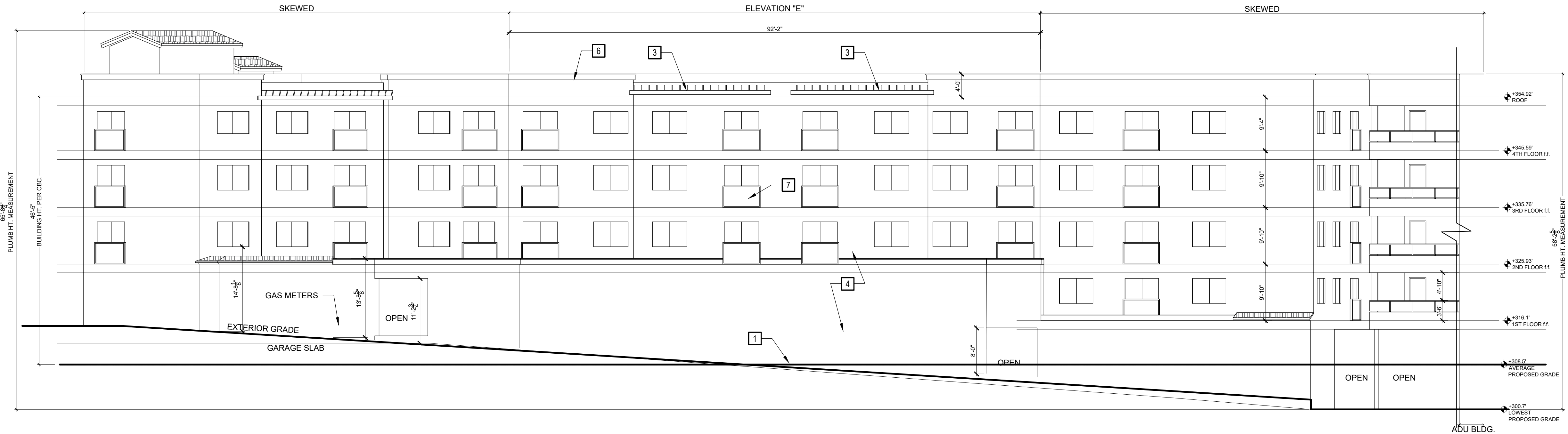
PODIUM WEST WALL: 5'-0" FSD
0 SF PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

1st FLR. WEST WALL: 15'-0" FSD
WALL AREA (82'-2"x 9'-6") = 875.49 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 4 + (6'-0" X 7'-0" DOOR) 42 SF x 4 = 264 SF UNPROTECTED OPENING
30.15% PROPOSED UNPROTECTED OPENINGS (75% ALLOWED W/ SPRINKLERS)

2nd FLR. WEST WALL: 15'-0" FSD
WALL AREA (82'-2"x 9'-6") = 875.49 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 4 + (6'-0" X 7'-0" DOOR) 42 SF x 4 = 264 SF UNPROTECTED OPENING
30.15% PROPOSED UNPROTECTED OPENINGS (75% ALLOWED W/ SPRINKLERS)

3rd FLR. WEST WALL: 15'-0" FSD
WALL AREA (82'-2"x 9'-6") = 875.49 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 4 + (6'-0" X 7'-0" DOOR) 42 SF x 4 = 264 SF UNPROTECTED OPENING
30.15% PROPOSED UNPROTECTED OPENINGS (75% ALLOWED W/ SPRINKLERS)

4th FLR. WEST WALL: 15'-0" FSD
WALL AREA (82'-2"x 9'-6") = 875.49 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 4 + (6'-0" X 7'-0" DOOR) 42 SF x 4 = 264 SF UNPROTECTED OPENING
30.15% PROPOSED UNPROTECTED OPENINGS (75% ALLOWED W/ SPRINKLERS)



MDU BUILDING - PROPOSED ELEVATION "E"

SCALE: 3/32" = 1'-0"

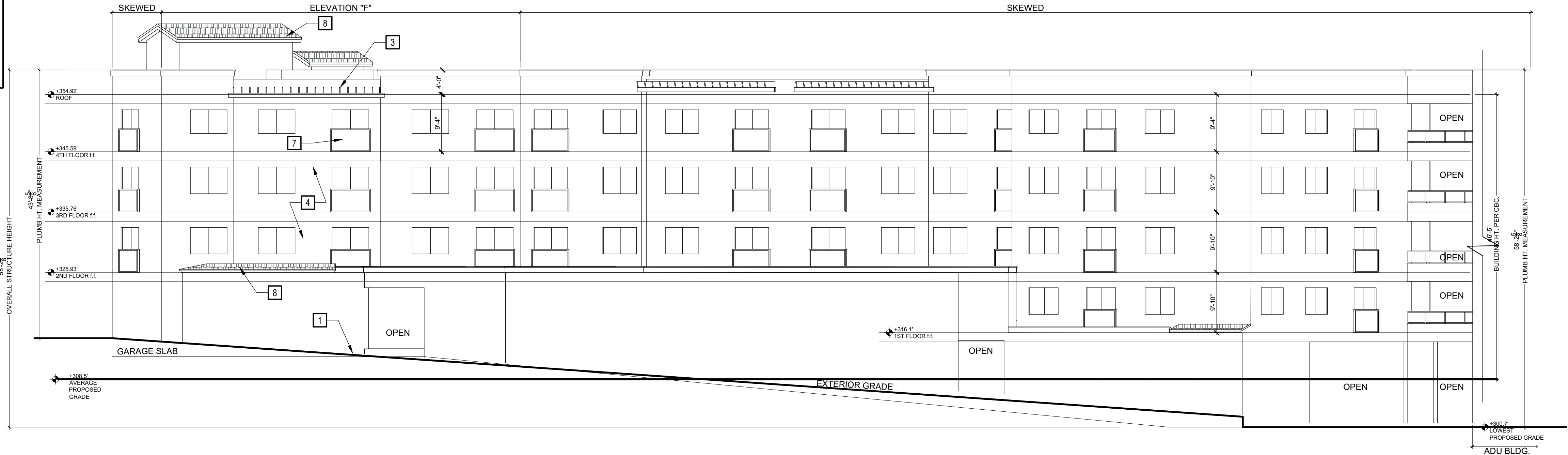
WEST WALL (F) PROTECTED/UNPROTECTED OPENING CALCULATIONS PER CBC TABLE 705.8:

1ST FLR. WEST WALL: 5'-5" FSD
WALL AREA = 519.71 SF EXTERIOR WALL AREA
(9'-1" x 6'-4 OPENING) 61 SF = 61 SF UNPROTECTED OPENING
11.3% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

2nd FLR. WEST WALL: 14'-10" FSD
WALL AREA (58'-6"x 9'-6") = 555.70 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 3 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 156 SF UNPROTECTED OPENING
28.07% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)

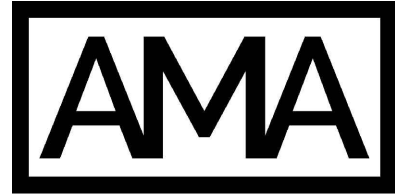
3rd FLR. WEST WALL: 14'-10" FSD
WALL AREA (58'-6"x 9'-6") = 555.70 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 3 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 156 SF UNPROTECTED OPENING
28.07% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)

4th FLR. WEST WALL: 14'-10" FSD
WALL AREA (58'-6"x 9'-6") = 555.70 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 3 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 156 SF UNPROTECTED OPENING
28.07% PROPOSED UNPROTECTED OPENINGS (45% ALLOWED W/ SPRINKLERS)



MDU BUILDING - PROPOSED NORTH ELEVATION "F"

SCALE: 3/32" = 1'-0"



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SOPHIE'S PLACE

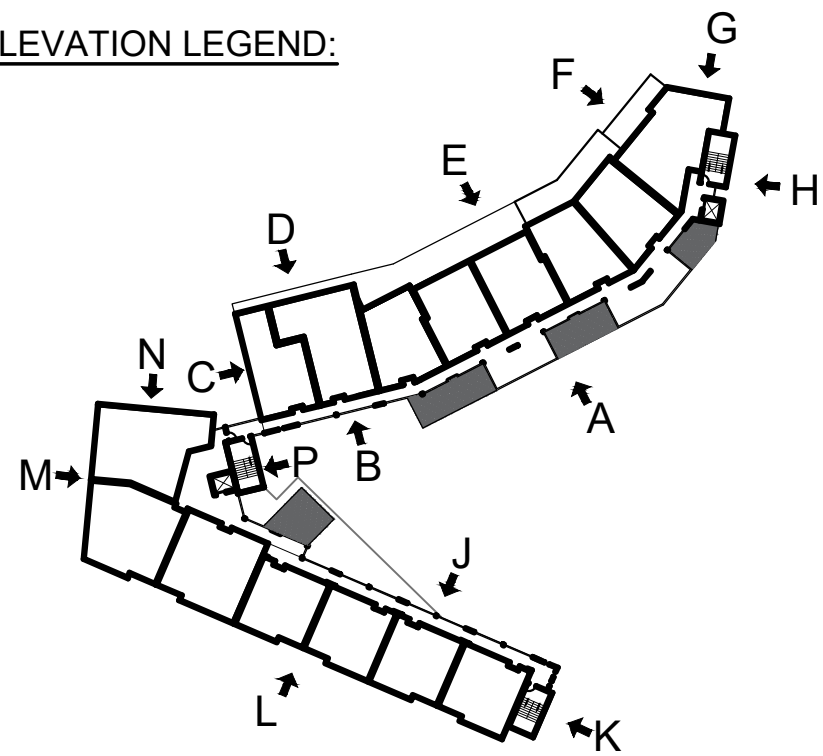
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DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

A-201.2

ELEVATION LEGEND:



ELEVATION KEYNOTES	
1	PROPOSED GRADE
2	VENT LOCATIONS
3	WOOD TRELIS
4	STUCCO FINISH
5	NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
6	DECORATIVE STUCCO MOLDING
7	42" H. GUARDRAIL, MAX. 4" OPENINGS
8	CLAY TILE ROOFING

NORTH WALL (G) PROTECTED/UNPROTECTED OPENING CALCULATIONS PER CBC TABLE 705.8:

1st FLR. NORTH WALL: 20'-0" FSD
0 SF PROPOSED UNPROTECTED OPENINGS (NO LIMIT W/ SPRINKLERS)

2nd FLR. NORTH WALL: 20'-0" FSD
WALL AREA (24'-0" X 9'-6") = 230.4 SF EXTERIOR WALL AREA
(6'-0" X 7'-0" DOOR) 42 SF = 42 SF UNPROTECTED OPENING
18.22% PROPOSED UNPROTECTED OPENINGS (NO LIMIT W/ SPRINKLERS)

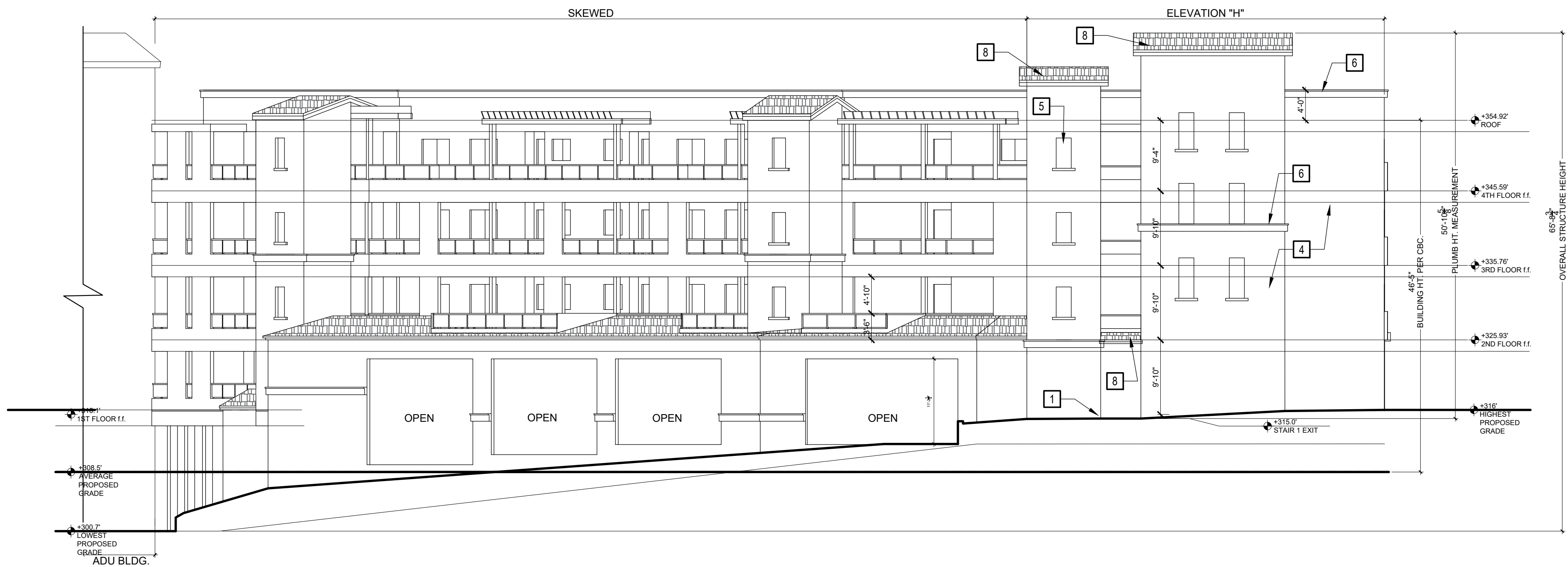
3rd FLR. NORTH WALL: 20'-0" FSD
WALL AREA (24'-0" X 9'-6") = 230.4 SF EXTERIOR WALL AREA
(6'-0" X 7'-0" DOOR) 42 SF = 42 SF UNPROTECTED OPENING
18.22% PROPOSED UNPROTECTED OPENINGS (NO LIMIT W/ SPRINKLERS)

4th FLR. NORTH WALL: 20'-0" FSD
WALL AREA (24'-0" X 9'-6") = 230.4 SF EXTERIOR WALL AREA
(6'-0" X 7'-0" DOOR) 42 SF = 42 SF UNPROTECTED OPENING
18.22% PROPOSED UNPROTECTED OPENINGS (NO LIMIT W/ SPRINKLERS)



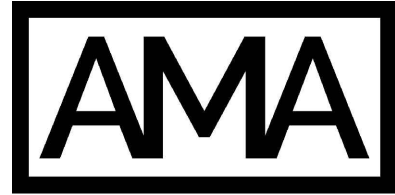
MDU BUILDING - PROPOSED ELEVATION "G"

SCALE: 3/32" = 1'-0"



MDU BUILDING - PROPOSED ELEVATION "H"

SCALE: 3/32" = 1'-0"



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SOPHIE'S PLACE

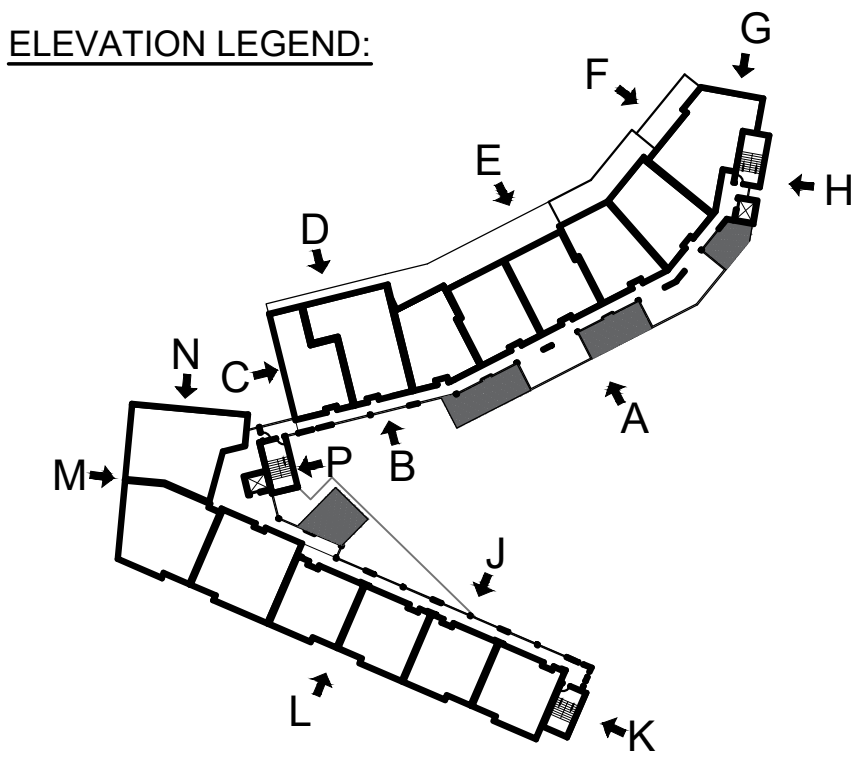
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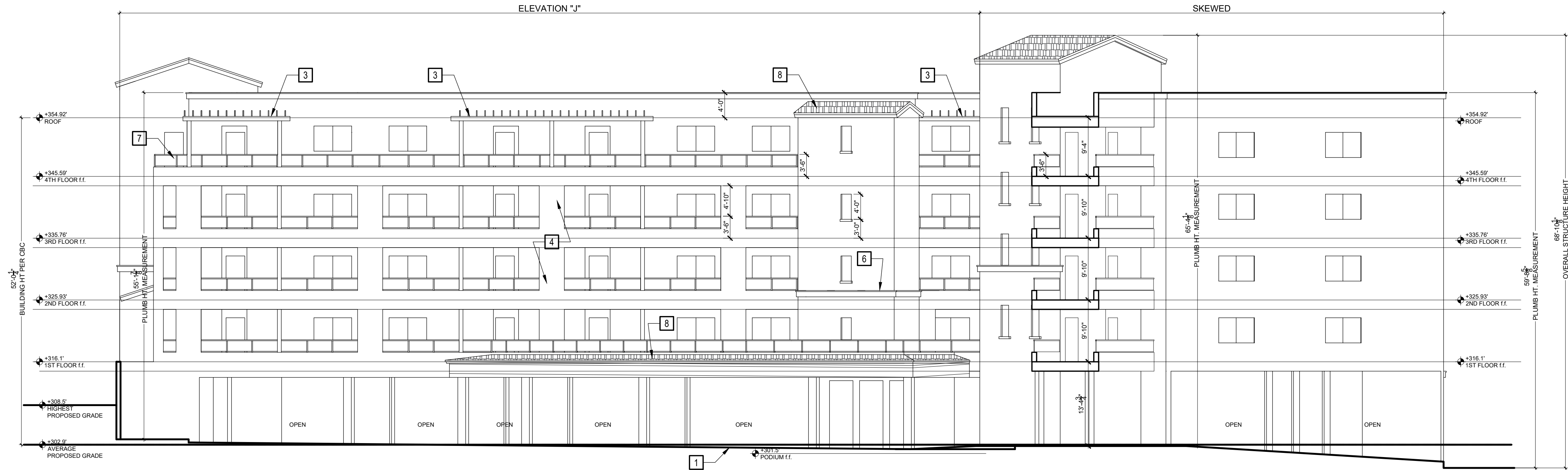
DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

A-201.3

ELEVATION LEGEND:

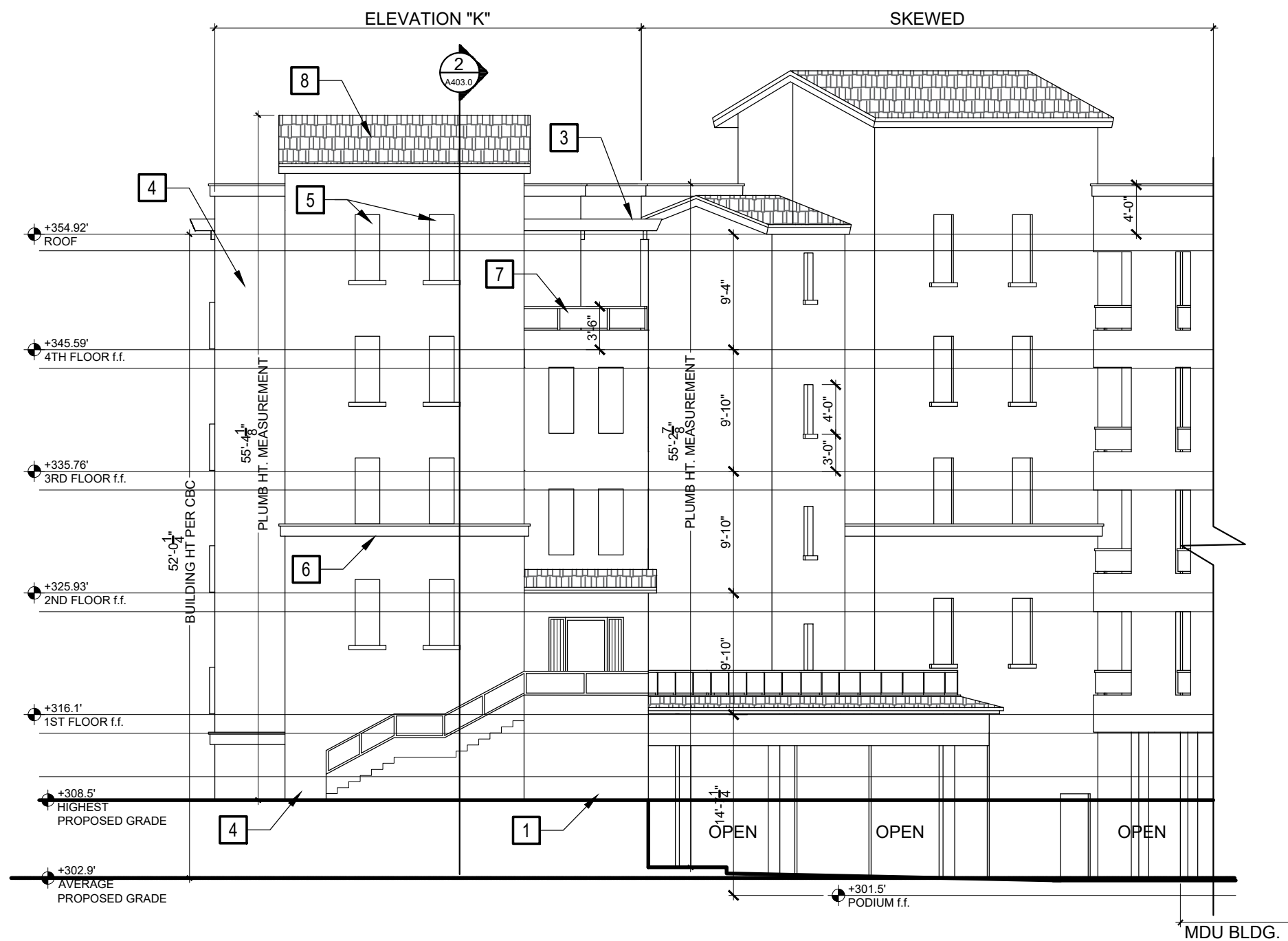


ELEVATION KEYNOTES	
1	PROPOSED GRADE
2	VENT LOCATIONS
3	WOOD TRELIS
4	STUCCO FINISH
5	NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
6	DECORATIVE STUCCO MOLDING
7	42" H. GUARDRAIL, MAX. 4" OPENINGS
8	CLAY TILE ROOFING



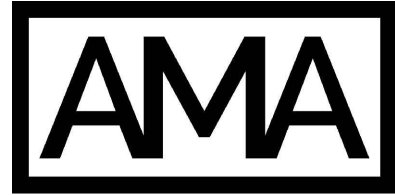
ADU BUILDING - PROPOSED NORTH ELEVATION "J"

SCALE: 3/32" = 1'-0"



ADU BUILDING - PROPOSED EAST ELEVATION "K"

SCALE: 3/32" = 1'-0"



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SOPHIE'S PLACE

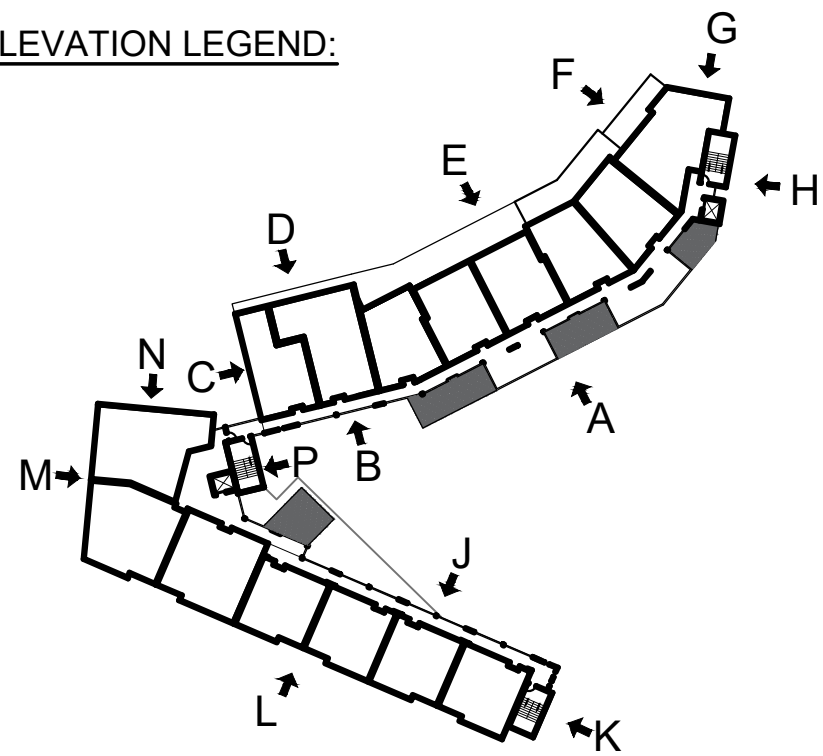
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DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

A-201.4

ELEVATION LEGEND:



ELEVATION KEYNOTES	
1	PROPOSED GRADE
2	VENT LOCATIONS
3	WOOD TRELLIS
4	STUCCO FINISH
5	NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
6	DECORATIVE STUCCO MOLDING
7	42" H. GUARDRAIL, MAX. 4" OPENINGS
8	CLAY TILE ROOFING

SOUTH WALL (L) PROTECTED/UNPROTECTED OPENING CALCULATIONS PER CBC TABLE 705.8:

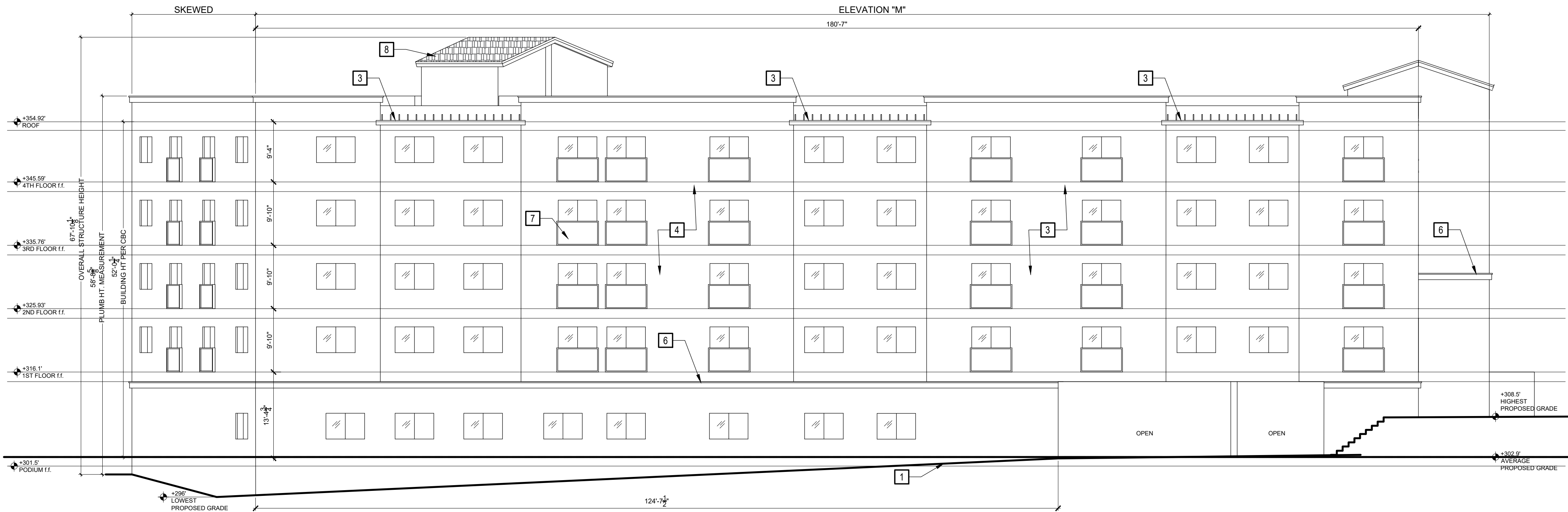
PODIUM SOUTH WALL: 6'-0" FSD
WALL AREA (124'-7 1/2"x13'-0") = 1,620.13 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 8 = 192 SF UNPROTECTED OPENING
11.8% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

1st FLR. SOUTH WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 1,715.54 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 7 + (6'-0" X 7'-0" DOOR) 42 SF x 6 = 420 SF UNPROTECTED OPENING
24.48% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

2nd FLR. SOUTH WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 1,715.54 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 7 + (6'-0" X 7'-0" DOOR) 42 SF x 6 = 420 SF UNPROTECTED OPENING
24.48% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

3rd FLR. SOUTH WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 1,715.54 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 7 + (6'-0" X 7'-0" DOOR) 42 SF x 6 = 420 SF UNPROTECTED OPENING
24.48% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

4th FLR. SOUTH WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 1,715.54 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 7 + (6'-0" X 7'-0" DOOR) 42 SF x 6 = 420 SF UNPROTECTED OPENING
24.48% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)



ADU BUILDING - PROPOSED SOUTH ELEVATION "L"

SCALE: 3/32" = 1'-0"

WEST WALL (M) PROTECTED/UNPROTECTED OPENING CALCULATIONS PER CBC TABLE 705.8:

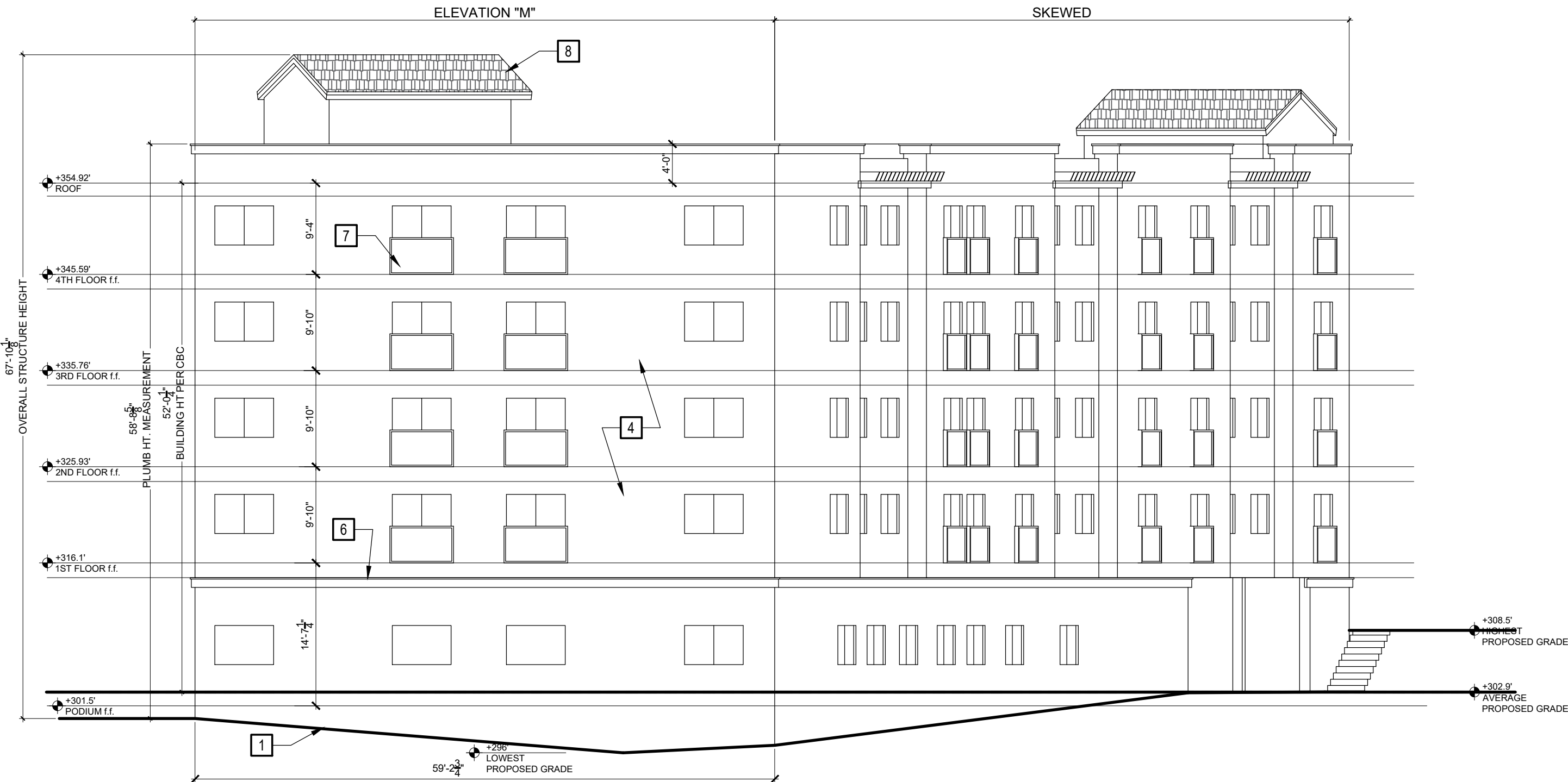
PODIUM WEST WALL: 6'-0" FSD
0 SF UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

1st FLR. WEST WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 567.62 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 2 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 132 SF UNPROTECTED OPENING
23.25% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

2nd FLR. WEST WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 567.62 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 2 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 132 SF UNPROTECTED OPENING
23.25% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

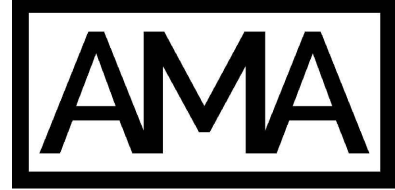
3rd FLR. WEST WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 567.62 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 2 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 132 SF UNPROTECTED OPENING
23.25% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)

4th FLR. WEST WALL: 6'-0" FSD
WALL AREA (180'-7 1/2"x9'-6") = 567.62 SF EXTERIOR WALL AREA
(6'-0" x 4'-0 WINDOW) 24 SF x 2 + (6'-0" X 7'-0" DOOR) 42 SF x 2 = 132 SF UNPROTECTED OPENING
23.25% PROPOSED UNPROTECTED OPENINGS (25% ALLOWED W/ SPRINKLERS)



ADU BUILDING - PROPOSED WEST ELEVATION "M"

SCALE: 3/32" = 1'-0"



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SOPHIE'S PLACE

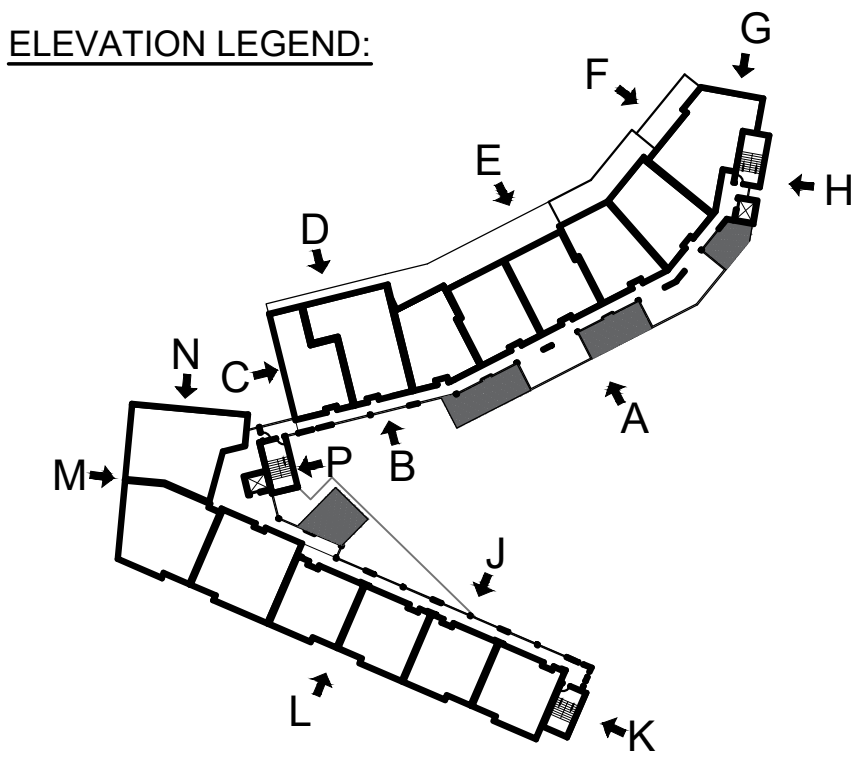
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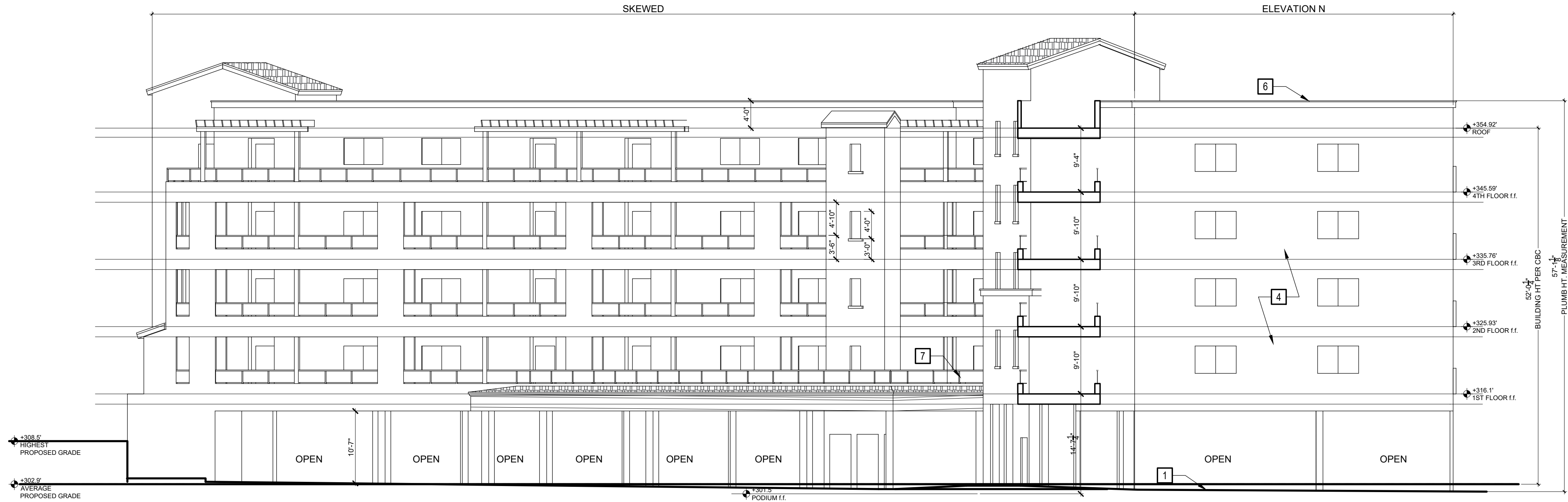
DATE	DESCRIPTION
11/29/22	SUBMITTAL SET
8/14/24	RESUBMITTAL SET

A-201.5

ELEVATION LEGEND:

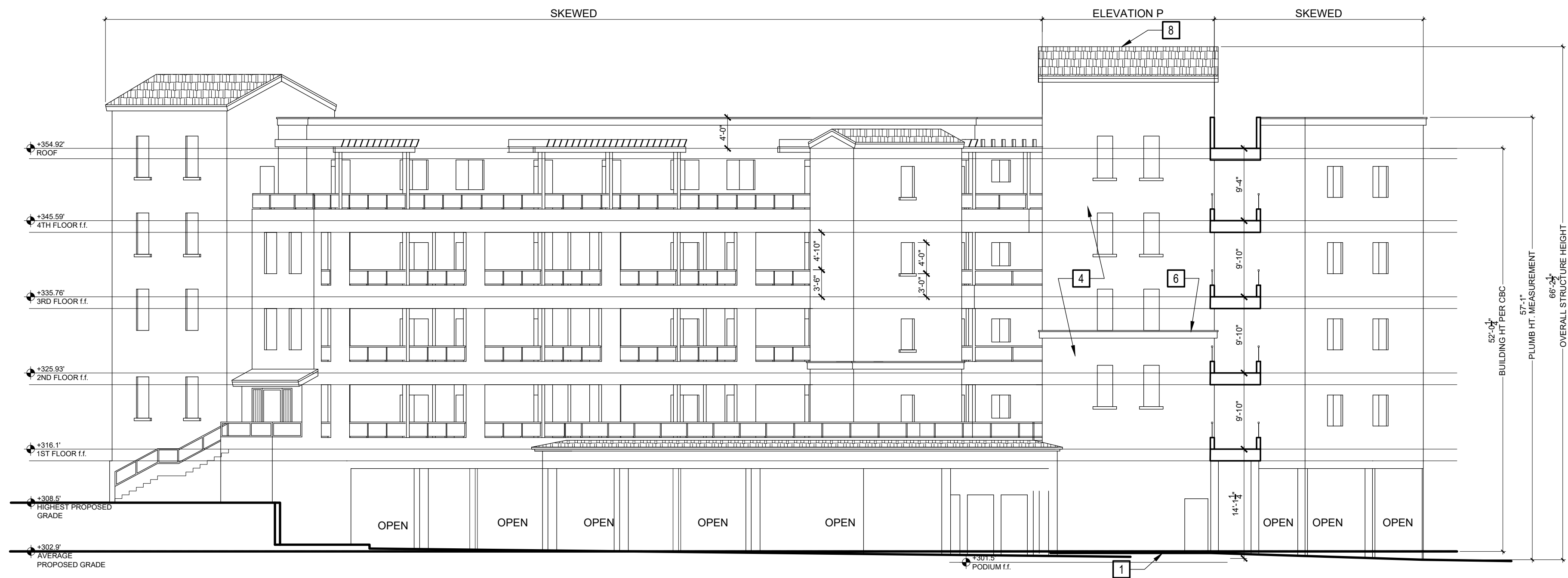


ELEVATION KEYNOTES	
1	PROPOSED GRADE
2	VENT LOCATIONS
3	WOOD TRELLIS
4	STUCCO FINISH
5	NOT A WINDOW, DECORATIVE MOLDING WITH STUCCO
6	DECORATIVE STUCCO MOLDING
7	42" H. GUARDRAIL, MAX. 4" OPENINGS
8	CLAY TILE ROOFING



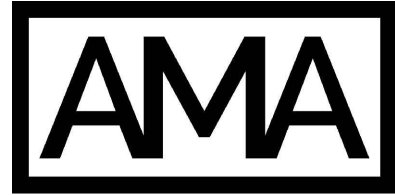
ADU BUILDING - PROPOSED NORTH ELEVATION "N"

SCALE: 3/32" = 1'-0"



ADU BUILDING - PROPOSED EAST ELEVATION "P"

SCALE: 3/32" = 1'-0"



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SOPHIE'S PLACE

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DATE	DESCRIPTION
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A-201.6